

Single Family Residential Patio Covers & Carports

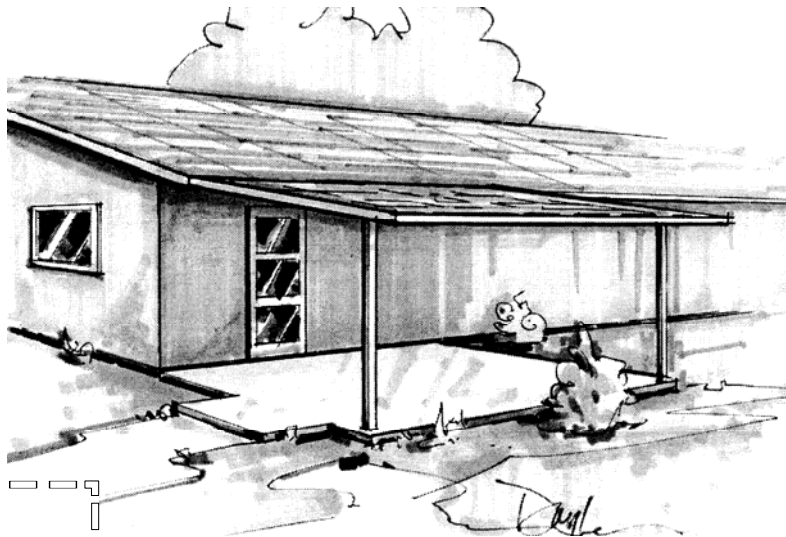
Building Guides
Building Inspection
385 Kimbark St
303-651-8332



How to Use this Guide

Provide two sets of plans and complete the following:

- 1 Complete this Building Guide by filling in the blanks on page 8, and indicating which construction details will be used.
- 2 Provide 2 Plot Plans (site plan) showing dimensions of your project or addition and its relationship to existing buildings or structures on the property and the distance to existing property lines drawn to scale.
- 3 Fill out a building permit application.
The majority of permit applications are processed with little delay. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.



Important:
Do not alter existing drainage pattern. Prevent run-off water from crossing onto adjoining properties!

Based on graphics and information developed by the Colorado Chapter of the International Code Council.

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General Permit Information

A building permit is required anytime there is an addition, alteration, repair or demolition to the main structure or accessory structure on a lot or parcel.

The issuance of permits and subsequent inspections of the work performed ensures that all construction in the city is safe and in compliance with the City of Longmont Land Development and Building Codes. The primary purpose of these codes is to ensure a safe and healthy environment for the citizens of Longmont.

Permits are reviewed and issued at the Building Inspection Division office located at the Civic Center Complex, 350 Kimbark St. The office is open from 8:00 AM to 5:00 PM Monday, Wednesday and Friday. It is also open from 7:45 AM to 6:00 PM on Tuesday and Thursday. Call (303) 651-8332 for information.

As a homeowner you can act as your own contractor and work on the property where you reside without a contractor's license. You may subcontract parts of a project. Anyone you hire, however, must be insured and licensed with the City of Longmont. In additions, you are responsible for obtaining inspections and written approvals on the permit card. *Exception: electricians and plumbers are also licensed with the state and electricians must pull a permits for all work they do.*

CAUTION: If you do work, or have any work done without obtaining a permit, you could be incurring liability in the event of a fire or accident related to the work. In some circumstances, your insurance could be invalidated.

Please Note:

- ⇒ **NOISE:** Section 10.20.100 of the Longmont Municipal Code prohibits making unreasonable noise which would cause a person of ordinary sensitivities significant annoyance and irritation.
- ⇒ **CONSTRUCTION DEBRIS & TRASH:** Section 9.04.100 of the Longmont Municipal Code requires debris and trash be contained on the job site.
- ⇒ **BEFORE DIGGING:** ALWAYS call the Utility Information Center at 1-800-922-1987 to locate underground utility lines. Allow 3 working days for the lines to be located and marked.

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Calling for Inspections

Requests for inspection may be made on the Building Inspection automated phone system by calling (303) 774-4595 or through the Internet (<https://safariweb.ci.longmont.co.us/building/default.asp>). You will need your permit number and inspection card. Follow the voice mail prompts. Inspections are usually made on the following day, it is wise to anticipate when they need to be made to prevent delays.

No inspection will be made on subcontracted work done by an unlicensed subcontractor.

Your site address and permit card must be posted on-site throughout the project.

You should not proceed to cover-up any work that has not been inspected. Although you may request either morning or afternoon inspection times, it may not be possible to schedule a specific time for the inspector to be there. You SHOULD NOT schedule any concrete or other major work for the same day as the inspection to avoid costly problems. Inspections must be called in the day before needed in order to allow for efficient scheduling and routing the Field Inspectors so all inspection requests can be accommodated.

Please have all animals including dogs under control and not in the areas to be inspected. Inspections may not be made if there are animals running loose and a re-inspection fee may be required if this occurs. The site address must be prominently posted during the construction process.

Most patio covers and carports require three inspections. Please use the following information to plan for these:

CAISSONS AND PIERS

- ⇒ Approved plans posted on site.

FRAMING INSPECTIONS

- ⇒ Approved plans posted on site.
- ⇒ All Framing, fire blocking and bracing, which will be covered up at the final inspection, has been completed.

FINAL INSPECTION

- ⇒ All framing work done and approved.

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Plans

All construction drawings must be legible and submitted in duplicate. Plans may be blueprints or originals on a good grade of plain white paper. Plans must either be drawn to scale or with all dimensions clearly shown. The following plans are required.

PLOT PLAN

- 1 North Arrow.
- 2 Property Address.
- 3 Lot Dimensions.
- 4 Easements and adjoining street name(s).
- 5 Parking and sidewalk locations.
- 6 Location of proposed and existing structures including house, detached garages, sheds and deck. Show dimensions and distances to property lines and all other buildings on property.
- 7 Location of utility lines inclusive of water, sewer, electric and gas lines, if affected by project.
- 8 Drainage pattern, if affected by project.

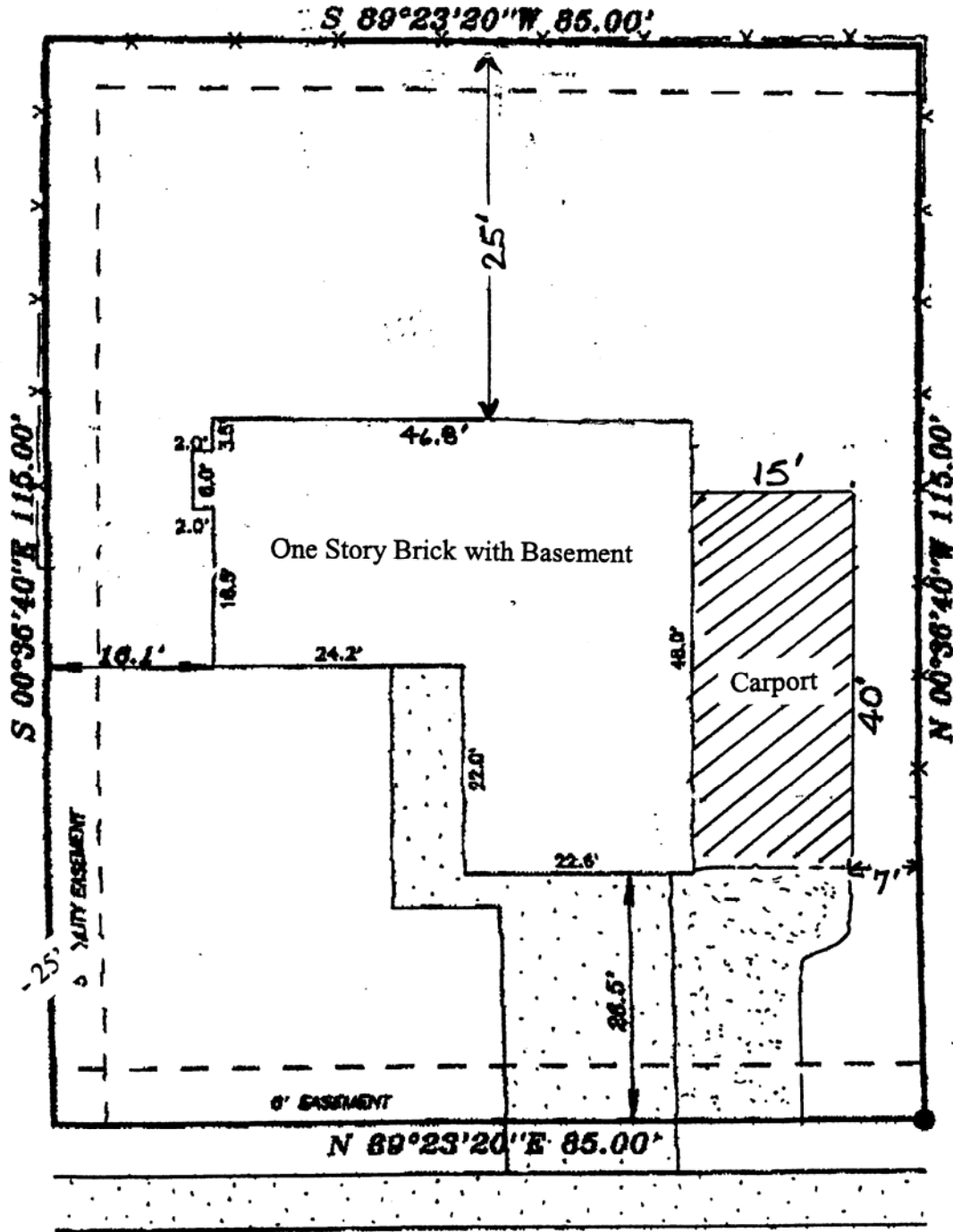
STRUCTURAL AND LAYOUT PLAN VIEW

- 1 Overall dimensions.
- 2 Dimensions of footings/caissons (8" diameter if caissons).
- 3 Depth of footings/caissons below grade (30" minimum).
- 4 Beam size and bearing locations.
- 5 Post anchor size.

FRAMING/ARCHITECTURAL PLAN

- 1 Grade and species of all wood framing members.
- 2 Size, spans, and spacing of joists, beams and posts.
- 3 Size and species of decking materials.
- 4 Bracing details.
- 5 Finish grade with slope shown.
- 6 Show dimensions.
- 7 Location and size of stairs and guardrail and window wells.
- 8 If involved in this project, show:
- 9 Electrical shown on plans including outlets, switches, fixtures and electrical service entrance location. (Especially if affected by new structure)

Sample Plot Plan – Single Family Residential Patio Covers & Carports



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Information

SETBACKS

Structures which are *more than 24" above grade* must be placed within the minimum setback distances away from property lines, dependent upon the zone district in which they are located as specified in the Longmont Municipal Code Section 15.05.010.

WOOD SPECIES

Redwood is unsuitable for Structural Members (i.e. Beams, Joists and Ledger Boards, etc.) Redwood may be used for posts, roof sheathing more than 50% open, handrails and trim. Pressure treated or approved wood of natural resistance to decay must be used when the wood is in contact with concrete.

FOOTINGS/CAISSONS

The minimum depth is 30" to get below frost line; minimum width is 8". Footings/Caissons which support large loads, or constructed on poor soils may require different foundation designs.

POSTS

Posts are attached to the caissons below and the beams above with suitable anchors and brackets. Posts are 4"X4" minimum. Redwood may be used if it is relatively free of knots and splits. Otherwise, pressure treated lumber may be required.

LEDGER BOARD

The minimum ledger size shall be the same size as the rafters. Ledger boards are attached to the house with lag bolts that are at least 3/8" in diameter and long enough to go through the ledger board, siding, and they shall also penetrate fully into the rim joist or other backing inside the wall.

The new structure shall not bear on any part of a house cantilever.

SWAY/CROSS BRACING

These are placed diagonally between the posts and beams and may be required for covers and structures built high enough to cause sway.

BEAMS AND RAFTERS

Beam and rafter sizes are determined by a 30 psf. live load and a 10 psf. dead load, in combination with span lengths and roof area supported. Because there are many combinations of span and roof area, this pamphlet will not attempt to address all of these. The minimum sizes will be verified with the aid of a computer program by the Building Inspection office upon review of your project.

BEAMS

Beams are attached to posts below with suitable metal ties. Beams may cantilever out from support posts a maximum of 1'-0". Beams may be either one solid piece of lumber or more commonly, two boards of equal size may be attached together forming one solid member.

RAFTERS

Rafters may be attached on top of the Ledger Board or to the side with joist hangers. They may be attached on top of the beams with solid blocking between them. Another method of attachment is with joist hangers in order to be "flush" on top with the top of beam. In this case it is required that the beam be either one solid piece or two or more boards securely fastened together to form one solid member.

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50% MINIMUM OPEN ROOF COVERING

Two inch nominal wood including Redwood may be used for “slat type” roofing provided the space between allows for at least 50% openness for snow to fall out and not build up a snow load.

ROOF SHEATHING AND ROOFING

Please refer to the International Residential Code for information on plywood, particleboard sheathing, or roofing information. Asphalt shingles must be fastened with a minimum of 6 fasteners and shall be hand or self sealing.

UTILITIES

Electric meter height must remain at 5'6" above grade. In the case of a deck, the finished floor of deck is considered grade.

Proper height of overhead service drop must be maintained:

- ⇒ A minimum of 10' at the service entrance to buildings, or above grade or any surface accessible by pedestrians.
- ⇒ A minimum of 3' above roofs with slopes greater than 3" in 12".
- ⇒ A minimum of 15' over driveways.

The meter may need to be moved in some instances.

TEMPERED GLASS

Windows within a 2'-0 arc of either vertical edge of doors and less than 5'-0 above the floor, require safety glazing.

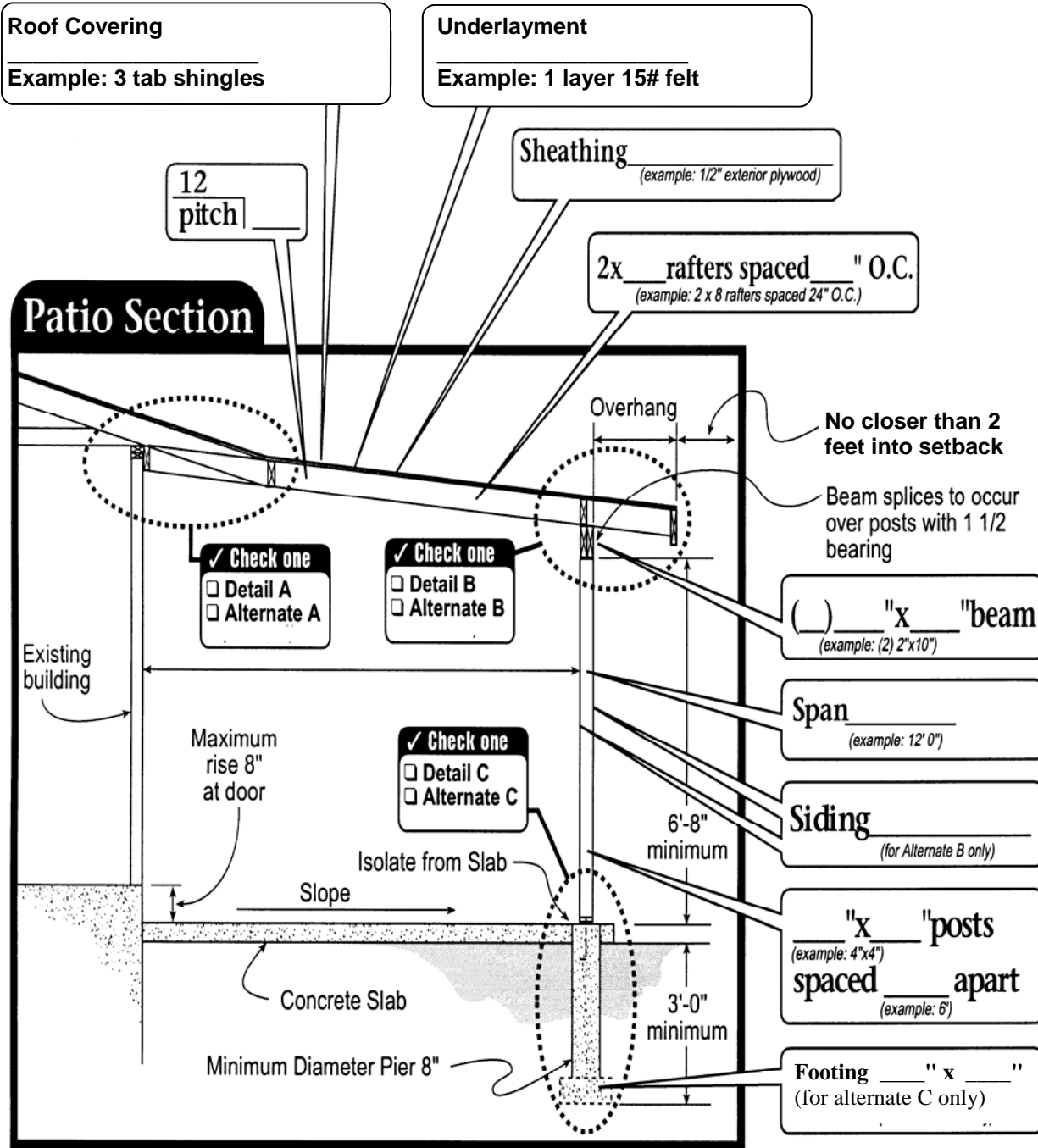
ZONE DISTRICT SETBACK REQUIREMENTS		
	Estate E1, E2	Residential R1, R2, R3, RLE
Front Yard	30'	20'
Rear Yard	20'	20'
Side Yard	One foot for every 2 1/2 feet of building height, height being measured from 1/2 the peak of the house to the ground.	
Other Structures	6 feet away from sheds, detached garages, etc.	
PLEASE NOTE: If the property is in a Planned Unit Development District (PUD), the setbacks are as specified on the Plat Map for the development. You may call Building Inspection for setback information.		

DIRECTIONS (see pages 8-11)

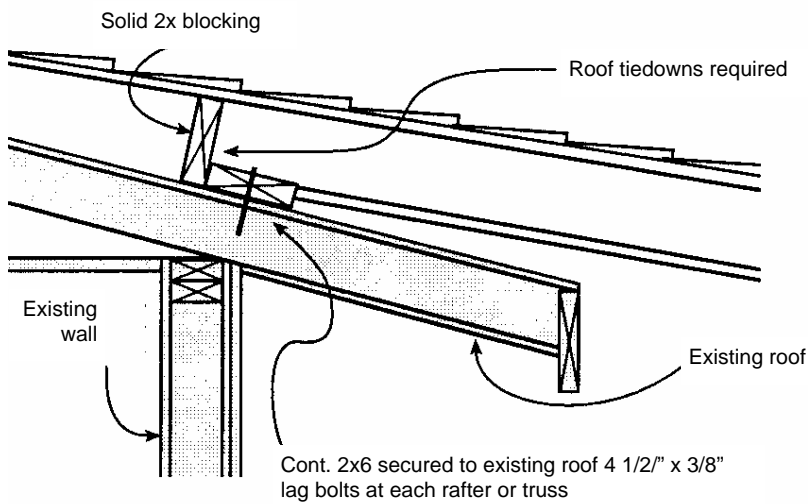
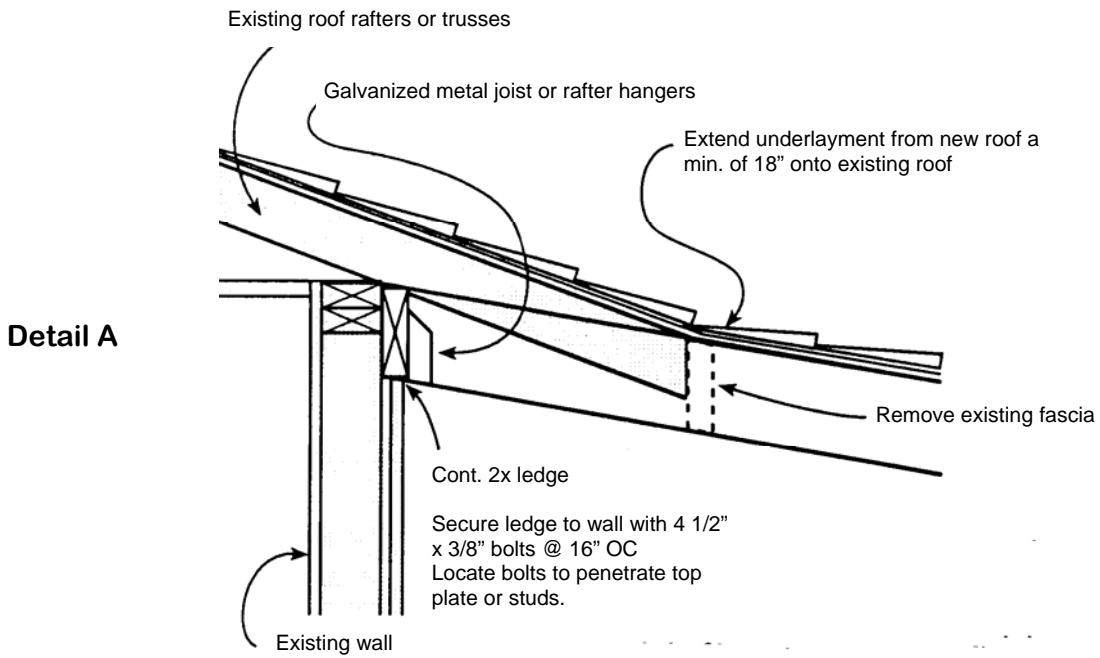
- 1 Fill in the blanks with dimensions and materials which will be used to build the structure. Please print legibly.
- 2 Indicate in the check boxes which details from page 3 will be used. Please note if any of the sides of your carport addition are closer than 3'-0" to the property line, that side of the carport must be enclosed with a solid 1 hour fire rated wall as shown in Alternate Details B and C. You must however, keep at least two sides of the carport open to conform to the building code requirements. Zoning approval is required.
- 3 Roofing to be installed per manufacturer's instructions, including low slope application and required inspections made.

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Address: _____

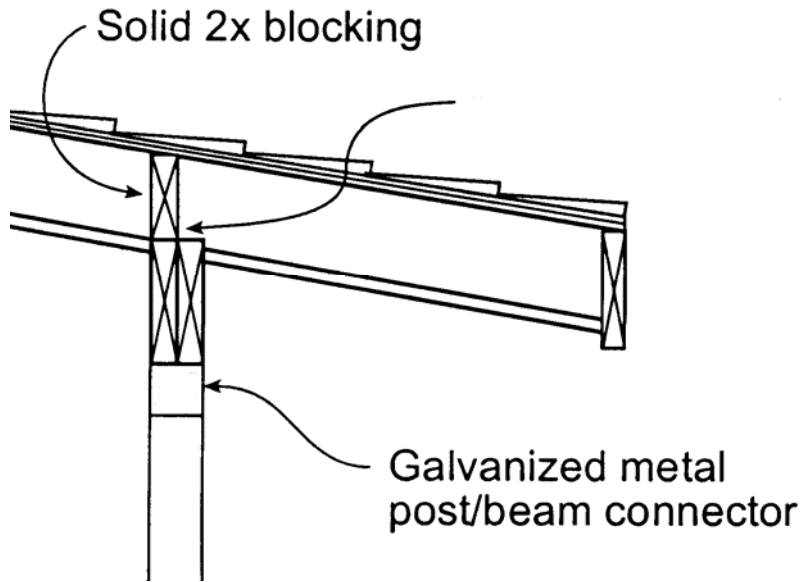


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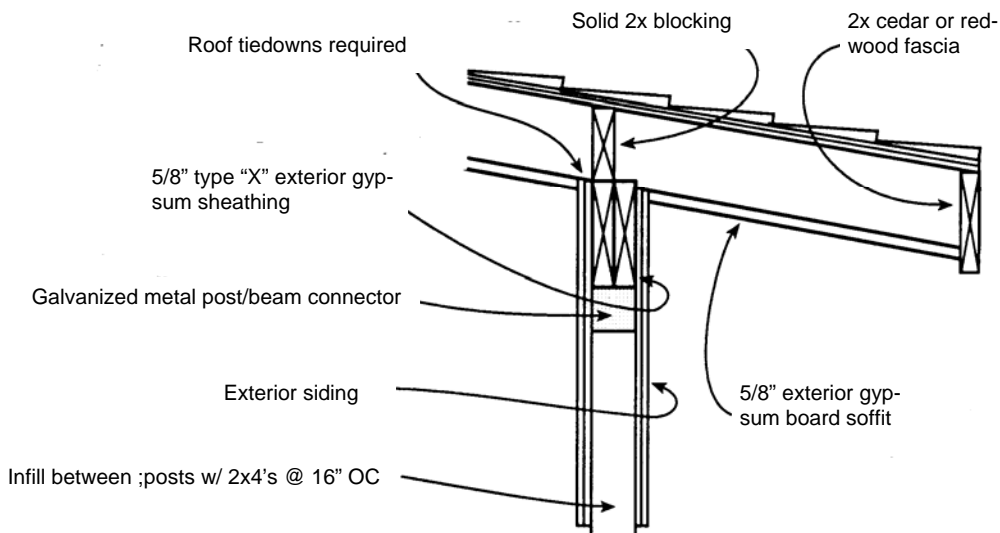


Alternate Detail A

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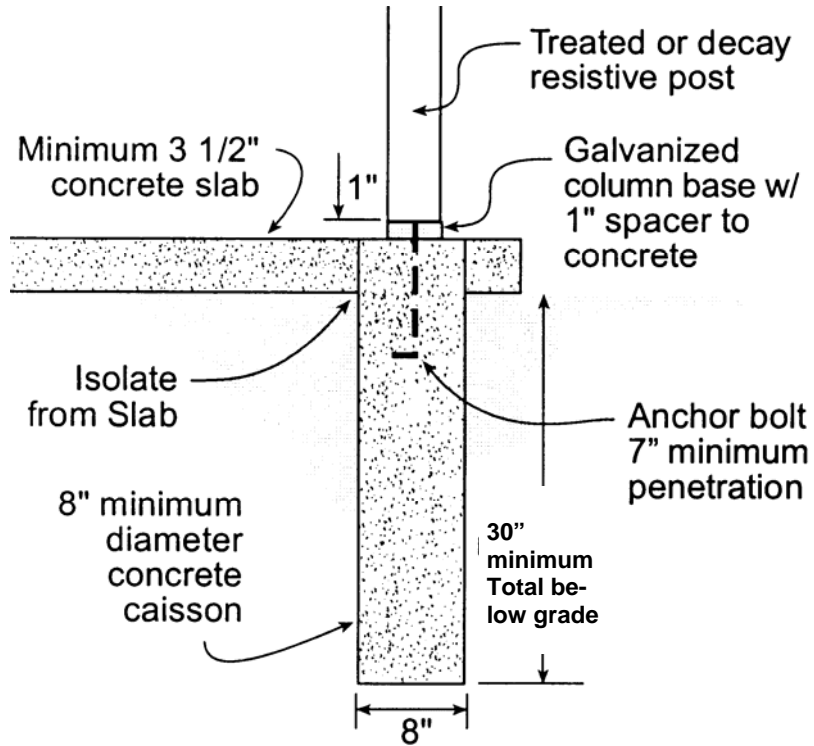


Alternate Detail B



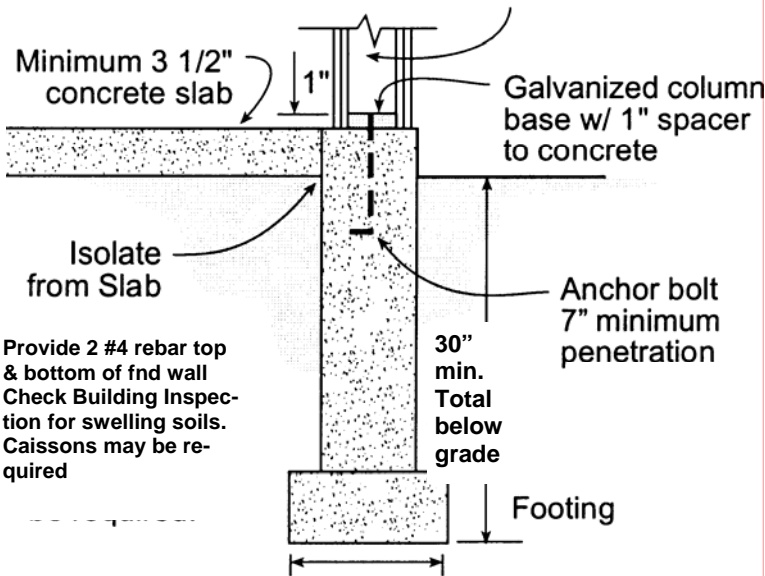
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Detail C



Bottom plate shall be treated wood or Foundation redwood with 1/2"x10" min. anchor bolts 4' OC max.

Infill between posts w/ 2x4's @ 16" O.C.



Alternate Detail C